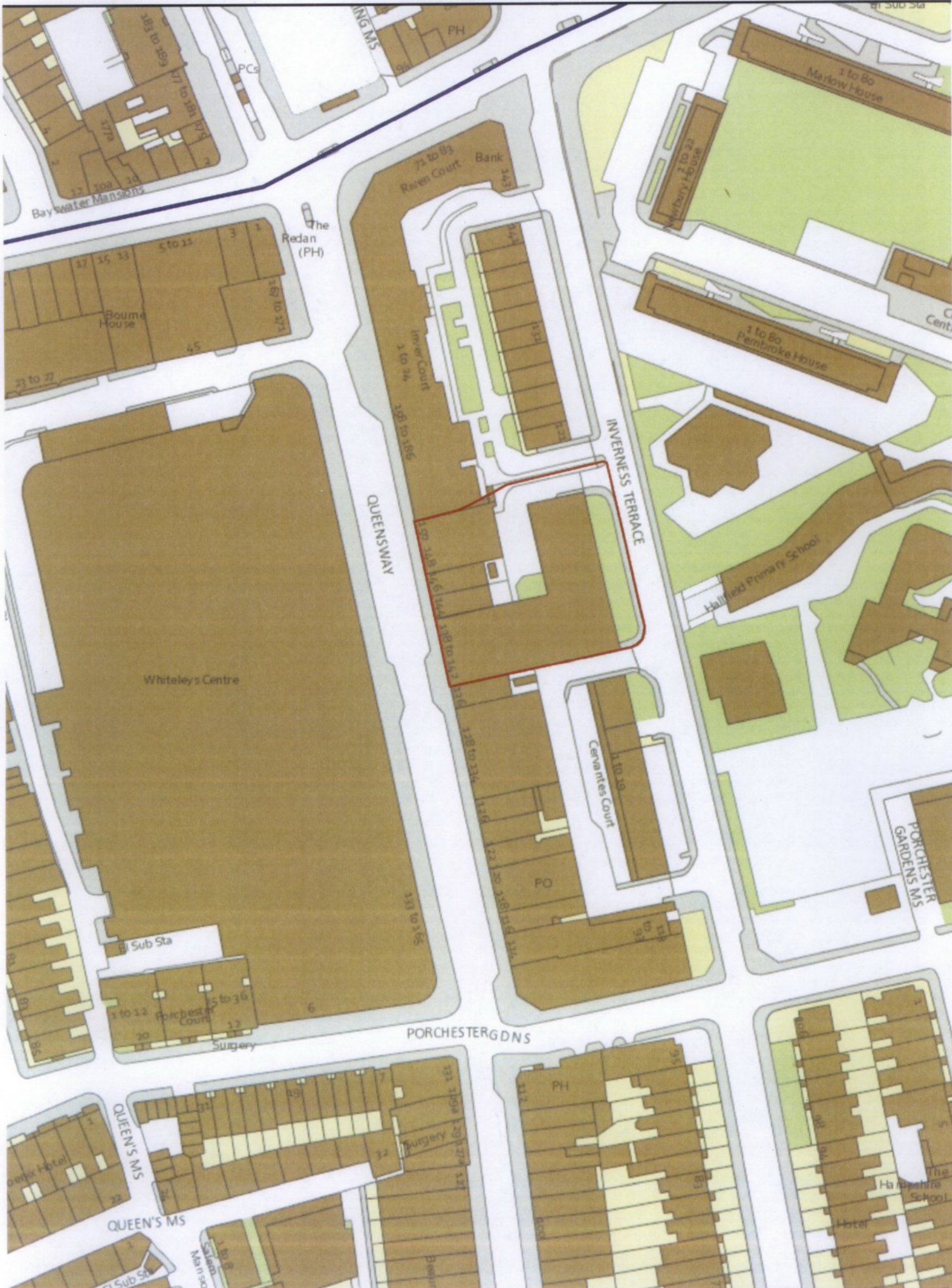


CITY OF WESTMINSTER			
PLANNING APPLICATIONS COMMITTEE	Date 28 April 2015	Classification For General Release	
Report of Director of Planning		Wards involved Lancaster Gate	
Subject of Report	138-142 Queensway and rear of 138-150 Queensway, London, W2 6LS		
Proposal	Variation of Condition 23 (approved plans) of planning permission dated 23.06.2014 (RN: 12/06207/FULL) which amended permission dated 29.10.2009 for demolition in connection with erection of four storey mixed use building comprising 20 residential units, retail (Class A1) and basement parking (RN: 09/05653); namely, alterations to internal layout of the approved scheme involving revisions to the retail unit (including omission of mezzanine) and residential units (including reconfiguration of units, the inclusion of a single access core, ancillary private storage and residents gym); the installation of a electricity sub-station and revised cycle and refuse storage; external revisions to the approved scheme including alterations to amenity and hard/soft landscaping areas and private patios, creation of new third floor terrace, omission of rear glazed walkway, reconfiguration of terraces, revised fenestration including new windows and rooflights, installation of new canopy to residential entrance, omission of ground floor ventilation openings and replacement with brickwork, omission of photovoltaics and relocation of satellite dish to roof; and the submission of a revised energy strategy.		
Agent	Savills		
On behalf of	DCD Properties Ltd		
Registered Number	15/00703/FULL	TP / PP No	TP/22292
Date of Application	28.01.2015	Date amended/ completed	02.02.2015
Category of Application	Minor		
Historic Building Grade	Unlisted		
Conservation Area	Queensway		
Development Plan Context - London Plan July 2011 - Westminster's City Plan: Strategic Policies 2013 - Unitary Development Plan (UDP) January 2007	Outside London Plan Central Activities Zone Outside Central Activities Zone		
Stress Area	Within Stress Area		
Current Licensing Position	Not Applicable		

1. RECOMMENDATION

Grant conditional permission, subject to a Deed of Variation to the S106 legal agreement originally dated 25 September 2012 and varied on 23 June 2014.





138-142 Queensway and rear of 138-150 Queensway, W2

2. SUMMARY

Planning permission was granted in 2009 for demolition in connection with the erection of a four storey mixed use building comprising 20 residential units, retail (Class A1) and basement parking. Subsequently amendments to the scheme were granted in June 2014 and construction is well under way. This current application seeks further minor material amendments to the scheme including and incorporating a number of external alterations to most elevations, the front curtilage and to the approved layout of gardens for existing residents to the rear; a number of internal alterations to the layout of the flats in connection with the removal of the second access stair/lift core and other amendments including the installation of an electricity sub station and revised energy strategy.

The proposal has been amended during the course of the application to seek an alternative solution to the amendments to the private gardens to be given over to existing Queensway Residents which had raised concern.

The key issues in this case are:

- The impact of the proposed amendments on the amenities currently enjoyed by existing surrounding residents.
- The impact of the proposed amendments to the appearance of the building and the conservation area.

Overall the proposed minor material amendments are considered to be acceptable and satisfy relevant Unitary Development Plan and City Plan policies and a favourable recommendation is made, subject to a Deed of Variation of the existing legal agreement in order to ensure that the planning obligations already secured are linked to this application.

3. CONSULTATIONS

ORIGINAL

SOUTH EAST BAYSWATER RESIDENTS ASSOCIATION

Any response to be reported verbally.

BAYSWATER RESIDENTS ASSOCIATION

Any response to be reported verbally.

HIGHWAYS PLANNING MANAGER

Any response to be reported verbally.

CLEANSING MANAGER

No objection, subject to permanency conditions for refuse and recycling and including protection of area for storage of recyclable material (cardboard and plastic) in cages.

ENVIRONMENTAL HEALTH CONSULTATION TEAM

No objection, subject to standard noise and vibration conditions.

GO GREEN PROGRAMME MANAGER

Comments made, conditions suggested.

ARBORICULTURAL OFFICER

Comments made, conditions suggested.

BUILDING CONTROL

No adverse comments.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 88; Total No. of Replies: 4.

Objections

- Amended layout to private gardens of Queensway residents results in reduced size of garden and gardens not directly aligned with properties they are associated with resulting in a loss of amenity, privacy, negative impact on quality of life.
- Corresponding patio gardens for 148A, 150A divided into three to include for 146A due to higher roof of retail unit below.
- Reduction in size of private garden for 146A Queensway is unjust and there is discrimination against 146A and 148A Queensway, if not resolved would take it to court of appeal.
- The landlord/developer owns the majority of residential units impacted by the works, but not including 146A and 148A and as beneficiaries of the works any negative impact should be borne by them and not neighbouring properties.
- Impact of additional window openings on the side flank on the adjacent 121 Inverness Terrace. Five new large vertical openings at ground floor level and four new window openings at upper level will result in loss of privacy to 121 Inverness Terrace, unless screened.

ADVERTISEMENT/SITE NOTICE: Yes

REVISED (14 day re consultation on revised including revised arrangement for rear gardens for Queensway residents, removal of boundary and treatment, extension to rear green wall).

SOUTH EAST BAYSWATER RESIDENTS ASSOCIATION

Any response to be reported verbally.

ADJOINING OWNERS/OCCUPIERS AND OTHER REPRESENTATIONS

No. Consulted: 88; Total No. of Replies: 2.

Happy and relieved that the revision indicates a garden for 148a Queensway.
Agree with amended plans for 146a Queensway.

4. BACKGROUND INFORMATION**4.1 The Application Site**

The site incorporates an area to the rear of Nos.138-150 Queensway which extends through to front Inverness Terrace and which is located between 121 Inverness Terrace to the north and Cervantes Court to the south. Inver Court lies adjacent to 150 Queensway to the north west of the site. The site also includes an access road to the south of the site which leads from Inverness Terrace behind Cervantes Court to the side of the main site. Apart from the commercial units on Queensway, the surrounding area is predominantly residential in nature.

The ground floor of Nos.138-142 Queensway was previously occupied by Tesco Metro extending to the rear of Queensway through to Inverness Terrace. The ground floor of Nos.144-150 Queensway is occupied as four commercial units with duplex residential flats (144a, 146A, 148A and 150A) above which can be accessed from Queensway or via a secondary deck access from the rear via Inverness Terrace.

The site is unlisted but falls within the Queensway Conservation Area. On the opposite side of Inverness Terrace is Hallfield School, a Grade II* listed building. To the west is Whiteleys, a Grade II listed building.

Works commenced to implement planning permission granted on 29 October 2009 and construction is well under way (see relevant history below) with the buildings main structure now complete.

4.2 Relevant History

Original permission

Conditional Planning permission was granted on 29 October 2009 for development involving the part demolition of a retail (Class A1) unit (leading to Inverness Terrace), demolition of warehouse structure parallel to Inverness Terrace and erection of four storey mixed use building comprising 20 residential units, retail (Class A1) and basement parking. (Site includes rear of 138-150 Queensway). This was subject to Grampian condition (No.23) which was superseded by virtue of a completed S106 legal agreement on 25 September 2012 to secure the following:

- i) Five on-site affordable housing units for social rent (2x2bed and 3x3bed).
- ii) Payment for review of parking £8,000.
- iii) Provision of Public Art to a value or not less than £60,000.
- iv) Highway works to Inverness Terrace.
- v) Private gardens at first floor level for the occupiers of the flats at 138A-150A Queensway.
- vi) Three car parking spaces reserved for the use of the occupiers of the flats at 138A-150A Queensway only.

Subsequently, approval of details in respect of a number of conditions imposed on the above permission were discharged and works to implement the above permission commenced on site.

First Variation Permission

Conditional permission was subsequently granted on 23 June 2014 for Removal of Condition 23(i) of planning permission dated 29 October 2009 for part demolition of retail (Class A1) unit (leading to Inverness Terrace), demolition of warehouse structure parallel to Inverness Terrace and erection of four storey mixed use building comprising 20 residential units, retail (Class A1) and basement parking. (RN: 09/05653); namely, removal of requirement to provide affordable housing on site (12/06207/FULL).

This permission is governed by a Deed of Variation of the original S106 legal agreement dated 25 September 2012 to secure in addition a payment of £556,788 total (£320,000 affordable housing, £236,788 streetscape) in the event that a two Core Scheme is built or £1,070,788 total (£608,000 affordable housing, £462,788 streetscape) if the scheme is subsequently revised to incorporate a single core rather than a two core arrangement), subject to being index linked and paid on completion of the agreement and on the grant of planning permission.

5. THE PROPOSAL

Planning permission is sought for a second variation to the original permission for minor material amendments to the 2014 permission in connection with the erection of a four storey mixed use building comprising 20 private residential units, retail (Class A1) and basement parking. The proposal has been amended during the course of the application to amend the provision of private gardens for existing Queensway residents, to omit the proposed curved boundary wall and to extend the area for tensile climbers on the rear elevation and to seek the

applicants agreement to further conditions in respect of soft landscaping and public art. The amendments now include:

Internal

- Revisions to layout of retail unit to include omission of mezzanine.
- Reconfiguration of residential units to include single access core. Ancillary private storage and resident's gym.
- Installation of electricity sub-station.
- Revised cycle and refuse storage.

External

- Amended layout to private gardens of 144A Queensway by the introduction of a staircase to give access to the private garden of 146A Queensway.
- Revisions to external amenity and hard and soft landscaping areas New third floor terrace;
- Omission of rear glazed walkway and reconfiguration of terraces, Revised fenestration including new windows, rooflights, new canopy to residential entrance, omission of ground floor ventilation openings and replacement with brickwork; omission of photovoltaics, relocation of satellite dish to roof.
- Revised energy strategy.

6. DETAILED CONSIDERATIONS

6.1 Land Use

This minor material amendment application does not raise any new land use issues.

6.1.1 Proposed residential

Whilst there are amendments proposed to the configuration and layout of flats within the new building, the overall total number of flats and mix of unit sizes remains the same, comprising 20 new residential units with a unit mix comprising of 6x1bedroom, 8x2bedroom, 6x3bedroom units.

The approved scheme involved a glazed walkway to the rear of the building at third floor level to provide access to three flats at this level and non-direct access to terraces. This has now been omitted from the scheme to be replaced with an open walkway with access to flats through their private terrace gardens, which results in increased privacy for future occupiers.

The aspect of the flats remains as previously approved, however four additional windows to be fixed shut and obscure glazed are proposed in the side elevation facing 121 Inverness Terrace in order to provide additional light to four flats. Furthermore, an additional external terrace is proposed to the rear at third floor level to be used by occupiers of the third floor flat.

The introduction of private storage areas and a resident's gym within the basement are not contentious.

These amendments/ additions improve the quality of these residential units and are acceptable in residential use terms.

6.1.2 Proposed Retail

The internal layout to the ground floor retail Class A1 unit has been reconfigured to suit the proposed intended tenant (Tesco) and involves the omission of a previously proposed mezzanine level and an amendment to the refuse store. These amendments are acceptable in land use terms.

6.1.3 Affordable Housing/Contributions

In granting permission in June 2014 with a payment in lieu for affordable housing, rather than an on-site provision, it was foreseeable that the applicant was likely to build a single core (lift and staircase) scheme rather than a two core scheme and this alternative arrangement formed part of the viability assessment in 2014. As such the Deed of Variation associated with the June 2014 permission incorporated two scenarios and associated financial contributions, with a requirement for additional contributions if a single core scheme was subsequently built out. This was because the removal of the second core would result in additional residential floor space and consequently higher values for the residential units created. Therefore, should permission be granted for this current scheme, the developer is already liable under the existing Deed of Variation dated 23 June 2014 to pay additional contributions.

The details are set out below:

Two core scheme: £556,788 total (£320,000 affordable housing, £236,788 streetscape).

Single core scheme: £1,070,788 total (£608,000 affordable housing, £462,788 streetscape).

As the contributions for the two-core scheme have already been paid, if permission is granted for this second variation in relation to a single core scheme, then the following additional contributions will be required under the existing legal agreement: £514,000 total (£288,000 affordable housing, £226,000 streetscape) subject to being index linked, to be paid within 15 days of the date of any decision.

Whilst the City Council's per unit sum (used for calculating payment in lieu of affordable housing) has been increased as of 1 April 2015, given that the above figures are to be index linked, it is considered appropriate in this instance not to apply the new per unit sum.

6.2 Design and Townscape

The height and footprint of the development remain very similar to that already approved. To the front elevation, it is proposed to reorganise the ground floor fenestration to take account of the electricity sub-station, single core scheme and consolidation of the refuse store. A new copper clad entrance canopy is also proposed over the now proposed single residential entrance which is acceptable in design terms.

To the front curtilage of the site, amendments to the external hard and soft landscaping is proposed to incorporate a curved metal clad "wall" and associated hard landscaping and tree planting and shrubs. The applicant suggests that this is resultant from their discussions with the South East Bayswater Residents Association (SEBRA) and Queensway Residents Association (associated with residents of 146A, 148A, and 150A Queensway etc.). Notwithstanding this, the introduction of a curved wall as a boundary to the site to Inverness Terrace is not considered appropriate to the site as its design and appearance is alien to the locality and it fails to relate to the design of the new building. For these reasons and given that the details of the hard and soft landscaping remain unacceptable to our arboricultural officer, the applicant has agreed to remove these aspects from the current scheme and agree to a condition requiring details at a later date enable the applicant to redesign this area to the satisfaction of officers.

At the rear, the omission of the third floor glazed walkway and the reconfiguration of the walkway/terrace/garden areas is a design improvement and other fenestration changes at third floor level are not contentious.

The satellite dishes previously proposed to the rear at third floor level are to be relocated to the centre of the main roof. Other amendments to the main roof include changes to the number and reconfiguration of rooflights resultant from the single core scheme. Furthermore

changes to the energy strategy has resulted in the omission of photovoltaic panels, whole house ventilation ducts and boiler flues.

Overall the external alterations proposed do not significantly change the proposed design and character and appearance of the approved building.

Details of a public art scheme for the site has been approved under reference 12/06232/ADFULL on 15.10.2012. However, the proposed amendments to the Inverness Terrace elevation means that the full extent of the approved public art could not be accommodated under the current scheme, as such it is proposed to require details of a new scheme of public art, by way of condition, as agreed by the applicant.

6.3 Amenity

The most significant change to the rear elevation is the omission of the third floor glazed walkway and reconfiguration of the access walkway/terrace gardens. However, overall this does not raise any amenity issues for neighbouring residents.

The side elevation to the new building adjacent to 121 Inverness Terrace is now proposed to incorporate five vertical blind brick windows to enclose the vehicular access to the site. At both first and second floor levels two additional windows are proposed to be fixed shut and obscure glazed. Given that the amendments to this elevation are to provide blank brick windows and obscure glazed and fixed shut windows, these are not considered to result in any loss of amenity to the occupier of 121 Inverness Terrace. Therefore, notwithstanding their concern, the introduction of these amendments are not considered to be detrimental to the amenities they currently enjoy.

The additional external terrace proposed to the rear of the building at third floor level to be used by occupiers of the third floor flat, is not considered to raise amenity issues. This is due to its, size, location, set back from the edge of the flat roof and distance and relationship to existing surrounding residents.

For the reasons set out above the proposal is considered to satisfy Policy ENV13 of the UDP and S29 of the City Plan.

Whilst the proposal now incorporates an internal electricity sub-station at ground floor level with access from Inverness Terrace. The City Councils Environmental Health Consultation Team has confirmed that it would not result in any noise disturbance, as it would meet our standard noise conditions in accordance with Policy ENV6 and ENV7 of our UDP and Policy S32 of our City Plan

This application originally proposed to change the proposed layout of the private patios/gardens to 146A, 148A and 150A Queensway, which sit on top of the roof to the commercial units below. These private/patios were, under the original permission and legal agreement, proposed to provide some amenity space for these existing residents that overlook the proposed development.

The applicant had indicated that due to structural and level (this roof is higher than the others) reasons, he was no longer proposing to utilise the roof outside of 146A Queensway, but instead split the two areas for 148A and 150A Queensway into three smaller garden/patio areas for these residents. However, the result of this was that the patio/garden for use by 146A Queensway would have been located directly outside of 148A's property and part of the patio/garden for use by 148A Queensway would have been located in part, directly outside of 150As property. This understandably brought about objections from residents of 146A and 148A Queensway and on the advice of officers, the applicant was asked to consider alternative solutions.

A revised solution has now been brought forward which involves utilising a small area of the private garden proposed for 144A Queensway to provide staircase access to 146A Queensway private garden, which is considered to be a better solution. The residents of 146A and 148A Queensway are now satisfied with this arrangement and any response from 144A Queensway will be reported verbally.

6.4 Transportation/Parking

No change is proposed to the vehicular access arrangements to the site and the internal loading bay for the retail units and the basement car parking provision for the future residents remains as approved, but also incorporating three car parking spaces reserved for the occupiers of flats at 138A-150A Queensway as required under the S106 legal agreement.

The provision of cycle storage for 20 bicycles for the residential occupiers remains in numerical terms as originally proposed, but is now proposed to be provided at ground floor level rather than within the basement car park, which is acceptable.

The residential refuse storage area has been consolidated to reflect a single core and single tenure scheme and remains acceptable to our Cleansing Manager.

The amended retail refuse store is acceptable given the allocated internal areas for cage marshalling in connection with storage of recyclables of plastic and card board awaiting collection. This is subject to a condition to ensure that this allocated area is kept available for use in perpetuity.

6.5 Economic Considerations

Not applicable to this minor material amendment application.

6.6 Equalities and Diversities (including Disabled Access)

Not applicable to this minor material amendment application.

6.7 Other UDP/Westminster Policy Considerations

Not applicable

6.8 London Plan

Not applicable to this minor material amendment application.

6.9 National Policy/Guidance considerations

Central Government's National Planning Policy Framework (NPPF) came into effect on 27 March 2012. It sets out the Government's planning policies and how they are expected to be applied. The NPPF has replaced almost all of the Government's existing published planning policy statements/guidance as well as the circulars on planning obligations and strategic planning in London. It is a material consideration in determining planning applications.

Until 27 March 2013, the City Council was able to give full weight to relevant policies in the Core Strategy and London Plan, even if there was a limited degree of conflict with the framework. The City Council is now required to give due weight to relevant policies in existing plans "according to their degree of consistency" with the NPPF. Westminster's City Plan: Strategic Policies was adopted by Full Council on 13 November 2013 and is fully compliant with the NPPF. For the UDP, due weight should be given to relevant policies according to

their degree of consistency with the NPPF (the closer the policies in the plan to the NPPF, the greater the weight that may be given).

The UDP policies referred to in the consideration of these applications are considered to be consistent with the NPPF unless stated.

6.10 Planning Obligations/CIL

This is a minor material amendment application under S73 of the Town and Country Planning Act, which means that if permission is granted a fresh planning application will be issued. The current legal agreement has been worded in such a way as to take into account the single core scheme scenario and requires additional contributions to be paid within 15 days of granting permission. Notwithstanding this, a Deed of Variation is required to ensure that the original planning obligations (see history section of this report) are linked to this application.

As of 6 April 2015, the CIL Regulations (2010 as amended) impose restrictions on the use of planning obligations relating to infrastructure projects namely; where five or more obligations have been entered into since 2010 from the funding of the same project(s), it is unlawful to take further obligations for their funding into account as a reason for granting planning permission. In this case, the planning obligations have already been secured by the 2009 permission (as issued in 2014) and as such the considerations outlined. In this report do not conflict with the CIL regulations (as amended)

6.11 Environmental Assessment including sustainability and Biodiversity Issues

The applicant has indicated that the energy strategy proposed for the development has been revised given improvements in technology since the original permission in 2009. Originally it was proposed to incorporate a central gas boiler and solar hot water panels. It is now proposed to incorporate air source heat pumps to provide heating and hot water, whilst still achieving Code for Sustainable Homes Level 3, in line with the originally implemented permission. Whilst the level to be achieved is disappointing under current standards, given that the 2009 permission was implemented some time ago and this alternative strategy would achieve the same outcome, it is not considered that permission could be withheld on this ground. The scheme would achieve a 35% reduction on 2013 Building Regulations in accordance with the London Plan and this is to be required by condition. The City Council's Go Green Programme Manager has requested that the development connect to a District Energy Network and achieve a Code 4 for Sustainable Homes. However, given that these were not required under the original planning permission, that this proposal would achieve the same as the original proposal and that development is fully underway and will need to meet appropriate building regulations, it is not appropriate or reasonable to require this under this application

It is proposed to amend the hard and soft landscaping to the site at ground floor level to the front of the new building and also to consolidate the rear first floor podium communal gardens for future occupiers. However, the City Council's arboricultural officer has advised that the revised landscaping scheme is unsatisfactory and unacceptable. Both inappropriate planting and lack of details of quantities are proposed. New trees are proposed to be planted either too close together and or too close to existing trees. There is also the issue of tree species choice when combined with limited soil volume within the podium. Furthermore, the original scheme incorporated rain water harvesting system with a 4.6m³ tank and this needs to be re-incorporated. On officers advice the applicant has agreed to provide revised details. It is therefore considered appropriate to require full details by condition.

Whilst the City Council's arboricultural officer has requested that a pre-commencement tree protection condition be imposed, given that tree protection was already agreed as part of the original permission prior to commencement of the development it is unnecessary to require

new details, but rather to ensure the tree protection is carried out in accordance with the details previously approved (see condition 21). The same applies to their request for a review of the environmental sustainability of the roof garden and rainwater harvesting, as these details have also been previously approved, see condition 16.

7. Conclusion

The principle of the redevelopment has already been accepted by virtue of the original permission and subsequent variation permission. The amendments now proposed are not considered to raise any significant issues above and beyond those previously considered and are considered to be acceptable. As such a favourable recommendation is made. Whilst the developer is liable under the existing agreement to pay additional contributions in the event of a single core scheme such as this being granted, a Deed of Variation is still required to ensure that the original planning obligations are linked to this application.

BACKGROUND PAPERS

1. Application form.
2. Memo from Arboricultural Officer dated 17.02.2015.
3. Memo from Go Green Programme Manager dated 03.02.2015.
4. Memo from Building Control dated 13.02.2015.
5. Memo from Cleansing Manager dated 12.02.2015.
6. Memo from Environmental Health dated 04.02.2015.
7. Email from the owner/occupier of 146A Queensway dated 09.02.2015 and 12.04.2015
8. Email from the occupier of 148A Queensway dated 08.02.2015 and 10.04.2015.
9. Email from the occupier of 121 Inverness Terrace undated.
10. Email from the Queensway Residents Association c/o 142 Queensway dated 30.03.2015

IF YOU HAVE ANY QUERIES ABOUT THIS REPORT OR WISH TO INSPECT ANY OF THE BACKGROUND PAPERS PLEASE CONTACT CLARAGH MULHERN ON 020 7641 2535 OR BY E-MAIL – cmulhern@westminster.gov.uk

DRAFT DECISION LETTER

Address: 138-142 Queensway and rear of 138-150 Queensway, London, W2 6LS

Proposal: Variation of Condition 23 (approved plans) of planning permission dated 23.06.2014 (RN: 12/06207/FULL) which amended permission dated 29.10.2009 for demolition in connection with erection of four storey mixed use building comprising 20 residential units, retail (Class A1) and basement parking (RN: 09/05653); namely, alterations to internal layout of the approved scheme involving revisions to the of the retail unit (including omission of mezzanine) and residential units (including reconfiguration of units, the inclusion of a single access core, ancillary private storage and residents gym); the installation of an electricity sub-station and revised cycle and refuse storage; external revisions to the approved scheme including alterations to amenity and hard/soft landscaping areas and private patios, creation of new third floor terrace, omission of rear glazed walkway, reconfiguration of terraces, revised fenestration including new windows and rooflights, installation of new canopy to residential entrance, omission of ground floor ventilation openings and replacement with brickwork, omission of photovoltaics and relocation of satellite dish to roof; and the submission of a revised energy strategy.

Plan Nos: ORIGINAL:-
472_AP_(0)001;002A;003;004;005;006;1000;1001C;1002D;1003D;1004D;1006C;1007A;1008A;1009C;1010C;1011C;1012D;1013D;1014A;1015A;1016B;1018;1020A;1021B;1022B;6275/EL01;EL02; Design and Access Statement Revision A - June 2009 Formal submission.

AS SUPERSEDED BY:-
9597-PP-019A; 020D; 021C; 022A; 023A;024A; 026B; 027B; 028A; 029A; 030A; 031A; 032A; 034A; 036A;037A. L211; L212; L213; Savills letter 28.01.2015.
RBA Acoustics 4735/EBF 3 January 2012; UK Power Networks EDS07-0105 Revision D; Mendick Waring Ltd Energy Statement Oct 14.

Case Officer: Sarah Whitnall

Direct Tel. No. 020 7641 2929

Recommended Condition(s) and Reason(s):

- 1 Except for basement excavation work, you must carry out any building work which can be heard at the boundary of the site only:
- * between 08.00 and 18.00 Monday to Friday;
 - * between 08.00 and 13.00 on Saturday; and
 - * not at all on Sundays, bank holidays and public holidays.

You must carry out basement excavation work only:

- * between 08.00 and 18.00 Monday to Friday; and
- * not at all on Saturdays, Sundays, bank holidays and public holidays.

Noisy work must not take place outside these hours. (C11BA)

Reason:

To protect the environment of neighbouring residents. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 of our Unitary Development Plan that we adopted in January 2007. (R11AC)

- 2 No vibration shall be transmitted to adjoining or other premises and structures through the building structure and fabric of this development as to cause a vibration dose value of greater than 0.4m/s (1.75) 16 hour day-time nor 0.26 m/s (1.75) 8 hour night-time as defined by BS 6472 (2008) in any part of a residential and other noise sensitive property.

Reason:

As set out in ENV6 (2) and (6) of our Unitary Development Plan that we adopted in January 2007, to ensure that the development is designed to prevent structural transmission of noise or vibration.

- 3 The design and structure of the development shall be of such a standard that it will protect residents within the same building or in adjoining buildings from noise and vibration from the development, so that they are not exposed to noise levels indoors of more than 35 dB LAeq 16 hrs daytime and of more than 30 dB LAeq 8 hrs in bedrooms at night.

Reason:

As set out in ENV6 of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at section 9.76, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the same or adjoining buildings from noise and vibration from elsewhere in the development.

- 4 i) You must carry out the development in accordance with Detailed investigation reports of Phases 1 (Desktop Study), Phase 2 (Site investigation) and Phase 3 (Remediation Strategy) approved on 04.10.2012 under reference 12/01559/ADFULL.
ii) You must apply to us for approval of Phase 4 when the development has been completed: Phase 4 Validation report - summarises the action you have taken during the development and what action you will take in the future, if appropriate.

Reason:

To make sure that any contamination under the site is identified and treated so that it does not harm anyone who uses the site in the future. This is as set out in STRA 34 and ENV 8 of our Unitary Development Plan that we adopted in January 2007. (R18AA)

- 5 You must put a copy of this planning permission and all its conditions at street level outside the building for as long as the work continues on site.
You must highlight on the copy of the planning permission any condition that restricts the hours of building work. (C21KA)

Reason:

To make sure people in neighbouring properties are fully aware of the conditions and to protect their rights and safety. (R21GA)

- 6 You must provide each of the 18 car parking spaces shown on the approved drawings and each of the 15 car parking space shall only be used for the parking of vehicles of people living in the residential part of this development and 3 car parking spaces shall reserved for the exclusive use of occupiers of flats at 138A-150A Queensway London, W2 only. (C22BA)

Reason:

To provide parking spaces for people living in the residential part of the development as set out in STRA 25 and TRANS 23 of our Unitary Development Plan that we adopted in January 2007 and as required within the original S106 legal agreement dated 25.09.2012. (R22BB)

- 7 You must provide each cycle parking space shown on the approved drawings prior to occupation. Thereafter the cycle spaces must be retained and the space used for no other

purpose without the prior written consent of the local planning authority.

Reason:

To provide cycle parking spaces for people using the development as set out in TRANS 10 of our Unitary Development Plan that we adopted in January 2007.

- 8 You must use the parking, access, loading, unloading and manoeuvring areas shown on the approved plans only for those purposes. (C23AA)

Reason:

To avoid blocking the surrounding streets and to protect the environment of people in neighbouring properties as set out in S42 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 20 and TRANS 21 of our Unitary Development Plan that we adopted in January 2007. (R23AC)

- 9 No goods, including fuel, delivered or collected by vehicles arriving at or departing from the building shall be accepted or despatched if unloaded or loaded on the public highway. You may accept or despatch such goods only if they are unloaded or loaded within the curtilage of the building. (C23BA)

Reason:

To avoid blocking the surrounding streets and to protect the environment of people in neighbouring properties as set out in S42 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 20 and TRANS 21 of our Unitary Development Plan that we adopted in January 2007. (R23AC)

- 10 All servicing (including refuse collection) of the Retail (Class A1) unit must take place between 07.00 and 19.00 hours on Monday to Saturday and 10.00 - 17.00 on Sundays and Bank Holidays. This servicing must take place within the internal loading bay with the roller shutter in the down position. Servicing includes loading and unloading goods from vehicles and putting rubbish outside the building. (C23DA)

Reason:

To avoid blocking the surrounding streets and to protect the environment of people in neighbouring properties as set out in S42 of Westminster's City Plan: Strategic Policies adopted November 2013 and STRA 25, TRANS 20 and TRANS 21 of our Unitary Development Plan that we adopted in January 2007. (R23AC)

- 11 You must provide the following environmental sustainability /Biodiversity features (environmentally friendly features) before you start to use any part of the development, as set out in your application.

Bio diverse extensive green roof to main roof;
Living wall to rear external face of stair/lift core;
Hard and soft landscaped podium at rear first floor level, trees, shrubs, garden beds and seating areas;
Provision of waste and recycling and compost bins for garden/organic waste;
Rainwater collection and recycling system (from main roof) and landscaped podium used for automatic irrigation system of planted areas;
Bird, bat and bug boxes;
Private patio style gardens for the existing residents of first floor Queensway.

You must not remove any of these features, unless we have given you our permission in writing. (C44AA)

Reason:

To make sure that the development provides the environmental sustainability features included in your application as set out in S28 or S40, or both, of Westminster's City Plan: Strategic Policies adopted November 2013. (R44AC)

- 12 You must carry out the development in accordance with the detailed alterations to the scheme (gable ends of the copper clad roof storey set back behind the parapet by at least 1m and pitched and the roof edge detailed in order that the supporting frame work for the living roof, the solar collectors and any other functional/technical equipment does not project above it (lift overrun and safety railings excepted) approved on 30.04.2012 under reference 12/01399/ADFULL, unless otherwise agreed in writing by us.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Queensway Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 4 and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26DD)

- 13 You must apply to us for approval of detailed drawings showing the following alteration to the scheme:-

1) the fascia's to the first floor rear windows, the spandrel panels in the lift/stair core and the lift overruns must all be clad in the same copper cladding as the roof storey;

You must not start on these parts of the work until we have approved what you have sent us. You must then carry out the work according to the approved drawings. (C26UB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Queensway Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 4 and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26DD)

- 14 You must carry out the development in accordance with the details of facing materials including glazing approved on 09.10.2012 under reference 12/01814/ADFULL, unless otherwise agreed in writing by us.

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Queensway Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 4 and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26DD)

- 15 Notwithstanding the approved drawings, you must apply to us for approval of detailed drawings of the following parts of the development:-

1) sections through all windows and doors;
2) rainwater goods with metal to match other proposed materials;
3) boundary treatment to front;

- 4) boundary treatment to rear landscaped areas;
- 5) side access gates;

You must not start any work on these parts of the development until we have approved what you have sent us.

You must then carry out the work according to these drawings (C26DB)

Reason:

To make sure that the appearance of the building is suitable and that it contributes to the character and appearance of this part of the Queensway Conservation Area. This is as set out in S25 and S28 of Westminster's City Plan: Strategic Policies adopted November 2013 and DES 1, DES 4 and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R26DD)

- 16 You must carry out the development in accordance with the details of living green roof, location and design of bird bat and bug boxes and equipment associated with rainwater collection and recycling approved on 11.07.2012 under reference 12/04966/ADFULL, unless otherwise agreed in writing by us.

Reason:

To make sure that the development provides the environmental sustainability features included in your application as set out in S28 or S40, or both, of Westminster's City Plan: Strategic Policies adopted November 2013. (R44AC)

- 17 Notwithstanding that shown on the approved drawings, you must apply to us for approval of a scheme of public art.

You must not start work on the public art until we have approved what you have sent us. Before anyone moves into the building you must carry out the scheme according to the approved details.

You must maintain the approved public art and keep it on this site. You must not move or remove it. (C37AB)

Reason:

To make sure the art is provided for the public and to make sure that the appearance of the building is suitable. This is as set out in DES 7 (A) of our Unitary Development Plan that we adopted in January 2007. (R37AB)

- 18 The new individual private gardens to the flats at 138-150 Queensway must be complete and ready for use prior to the occupation of the new flats and each garden may only be used in connection with the flat which they face and must only be used incidental to the enjoyment of that flat.

Reason:

To protect the privacy and environment of people in neighbouring properties. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21BC)

- 19 You must provide the waste store shown on drawing 9597-PP-020 RevB before anyone moves into the property. You must clearly mark it and make it available at all times to everyone using the building. You must store waste inside the property and only put it outside just before it is going to be collected. You must not use the waste store for any other purpose. (C14DC)

Reason:

To protect the environment and provide suitable storage for waste as set out in S44 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 12 of our Unitary Development Plan that we adopted in January 2007. (R14BD)

- 20 You must not use the roofs annotated as "Semi intensive planting -Access for maintenance only" and Bio diverse/green extensive Roof " of the building for sitting out or for any other purpose unless we have given you our written approval beforehand. You can however use the roof to escape in an emergency and for maintenance. (C21AA)

Reason:

To make sure that the development provides the environmental sustainability features included in your application as set out in S28 or S40, or both, of Westminster's City Plan: Strategic Policies adopted November 2013. (R44AC)

- 21 You must carry out the tree protection in accordance with the details set out in your Design and Access Statement Revision A- June 2009, unless otherwise agreed in writing by us.

Reason:

To protect the trees and the character and appearance of this part of the Queensway Conservation Area. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R31DC)

- 22 You must apply to us for approval of detailed drawings of a hard and soft landscaping scheme which includes the number, size, species and position of trees and shrubs. You must not start work on the relevant part of the development until we have approved what you have sent us. You must then carry out the landscaping and planting within 1 planting season of completing the development (or within any other time limit we agree to in writing).

If you remove any trees or find that they are dying, severely damaged or diseased within 3 years of planting them, you must replace them with trees of a similar size and species. (C30CB)

Reason:

To improve the appearance of the development, to make sure that it contributes to the character and appearance of this part of the Queensway Conservation Area, and to improve its contribution to biodiversity and the local environment. This is as set out in S25, S28 and S38 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 16, ENV 17, DES 1 (A) and paras 10.108 to 10.128 of our Unitary Development Plan that we adopted in January 2007. (R30CD)

- 23 The development hereby permitted shall be carried out in accordance with the drawings and other documents listed on this decision letter, and any drawings approved subsequently by

the City Council as local planning authority pursuant to any conditions on this decision letter.

Reason:

For the avoidance of doubt and in the interests of proper planning.

- 24 The area within the ground floor retail unit annotated "37m2 Cage Marshalling Zone" on drawing number 9597-PP-020 Rev B and which is for the storage of recyclable cardboard and plastic, shall only be used for this use and no other use and the cages shall only be loaded or unloaded to vehicles within the internal retail A1 loading bay.

Reason:

To protect the environment and provide suitable storage for waste as set out in S44 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 12 of our Unitary Development Plan that we adopted in January 2007. (R14BD)

- 25 The glass that you put in the windows of the north elevation of the building at first and second floor level as shown on drawing 9597-PP-029 Rev A must not be clear glass, and you must fix it permanently shut. You must apply to us for approval of a sample of the glass (at least 300mm square). You must not start work on the relevant part of the development until we have approved the sample. You must then fit the type of glass we have approved and must not change it without our permission. (C21DB)

Reason:

To protect the privacy and environment of people in neighbouring properties. This is as set out in S29 and S32 of Westminster's City Plan: Strategic Policies adopted November 2013 and ENV 6 and ENV 13 of our Unitary Development Plan that we adopted in January 2007. (R21BC)

- 26 The design and structure of the development shall be of such a standard that it will protect residents within it from existing external noise so that they are not exposed to levels indoors of more than 35 dB LAeq 16 hrs daytime and of more than 30 dB LAeq 8 hrs in bedrooms at night.

Reason:

As set out in ENV6 (4) of our Unitary Development Plan that we adopted in January 2007, and the related Policy Application at sections 9.84 to 9.87, in order to ensure that design, structure and acoustic insulation of the development will provide sufficient protection for residents of the development from the intrusion of external noise.

- 27 (1) Where noise emitted from the proposed plant and machinery will not contain tones or will not be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 10 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

(2) Where noise emitted from the proposed plant and machinery will contain tones or will be intermittent, the 'A' weighted sound pressure level from the plant and machinery (including

non-emergency auxiliary plant and generators) hereby permitted, when operating at its noisiest, shall not at any time exceed a value of 15 dB below the minimum external background noise, at a point 1 metre outside any window of any residential and other noise sensitive property, unless and until a fixed maximum noise level is approved by the City Council. The background level should be expressed in terms of the lowest LA90, 15 mins during the proposed hours of operation. The plant-specific noise level should be expressed as LAeqTm, and shall be representative of the plant operating at its maximum.

(3) Following installation of the plant and equipment, you may apply in writing to the City Council for a fixed maximum noise level to be approved. This is to be done by submitting a further noise report confirming previous details and subsequent measurement data of the installed plant, including a proposed fixed noise level for approval by the City Council. Your submission of a noise report must include:

- (a) A schedule of all plant and equipment that formed part of this application;
- (b) Locations of the plant and machinery and associated: ducting; attenuation and damping equipment;
- (c) Manufacturer specifications of sound emissions in octave or third octave detail;
- (d) The location of most affected noise sensitive receptor location and the most affected window of it;
- (e) Distances between plant & equipment and receptor location/s and any mitigating features that may attenuate the sound level received at the most affected receptor location;
- (f) Measurements of existing LA90, 15 mins levels recorded one metre outside and in front of the window referred to in (d) above (or a suitable representative position), at times when background noise is at its lowest during hours when the plant and equipment will operate. This acoustic survey to be conducted in conformity to BS 7445 in respect of measurement methodology and procedures;
- (g) The lowest existing L A90, 15 mins measurement recorded under (f) above;
- (h) Measurement evidence and any calculations demonstrating that plant and equipment complies with the planning condition;
- (i) The proposed maximum noise level to be emitted by the plant and equipment.

Reason:

Because existing external ambient noise levels exceed WHO Guideline Levels, and as set out in ENV 6 (1), (6) and (8) and ENV 7 (A)(1) of our Unitary Development Plan that we adopted in January 2007, so that the noise environment of people in noise sensitive properties is protected, including the intrusiveness of tonal and impulsive sounds; and as set out in S32 of Westminster's City Plan: Strategic Policies adopted November 2013, by contributing to reducing excessive ambient noise levels. Part (3) is included so that applicants may ask subsequently for a fixed maximum noise level to be approved in case ambient noise levels reduce at any time after implementation of the planning permission.

Informative(s):

- 1 In dealing with this application the City Council has implemented the requirement in the National Planning Policy Framework to work with the applicant in a positive and proactive way. We have made available detailed advice in the form of our statutory policies in Westminster's City Plan: Strategic Policies adopted November 2013, Unitary Development Plan, Supplementary Planning documents, planning briefs and other informal written guidance, as well as offering a full pre application advice service, in order to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably. In addition, where appropriate, further guidance was offered to the applicant at the validation stage.

- 2 This permission is governed by a Deed of Variation of an existing Deed of Variation dated 23.06.2014 of the S 106 legal agreement dated 25.09.2012 between the applicant and us under Section 106 of the Town and Country Planning Act 1990. This secures:-
- i) additional affordable housing and streetscape contributions of £288,000 and £226,000 respectively, to be index linked and payable within 15 days of the grant of this permission for a single core scheme.
 - ii) Payment for review of parking £8,000.
 - iii) Provision of Public Art.
 - iv) Highway works to Inverness Terrace.
 - v) Private gardens at first floor level for the occupiers of the flats at 138A-150A Queensway.
 - vi) Three car parking spaces reserved for the use of the occupiers of the flats at 138A-150A Queensway only.

- 3 This site is in a conservation area. By law you must write and tell us if you want to cut, move or trim any of the trees there. You may want to discuss this first with our Tree Officer on 020 7641 6096 or 020 7641 2922. (I32AA)

- 4 Condition 22 requires details of hard and soft landscaping and should take into account the following comments:-

The landscaping includes a list of plants but no quantities. The plant schedule includes two hedges but they are not shown on plan. The tree planting in the communal garden and at street level includes tree planting that is too close to each other and too close to existing trees. The roof terrace has a group of Larch, Himalayan Birch and Broad leaved cockspur thorn at 2m, spacing. They will be touching within a short period from planting and it is not necessary or appropriate to plant so densely. Larix is also not tolerant of drought and so it is not likely to succeed in a roof garden with limited soil volume.

The original scheme included details of a rainwater harvesting system with the scheme. This included a 4.6m³ tank which would be supplemented by mains water. It is not sustainable to use mains water. A better approach would be to work out the water demand of the planting beds and calculate the volume of water required for the normal summer drought extremes. The rainwater tanks would need to be of sufficient volume to supply water for this period. The proposed tank of 4.6m³ will supply enough water for 14 days if it is supplied the monthly average of 50mm per month but containers need more irrigation than natural landscapes due to high evaporation rates.

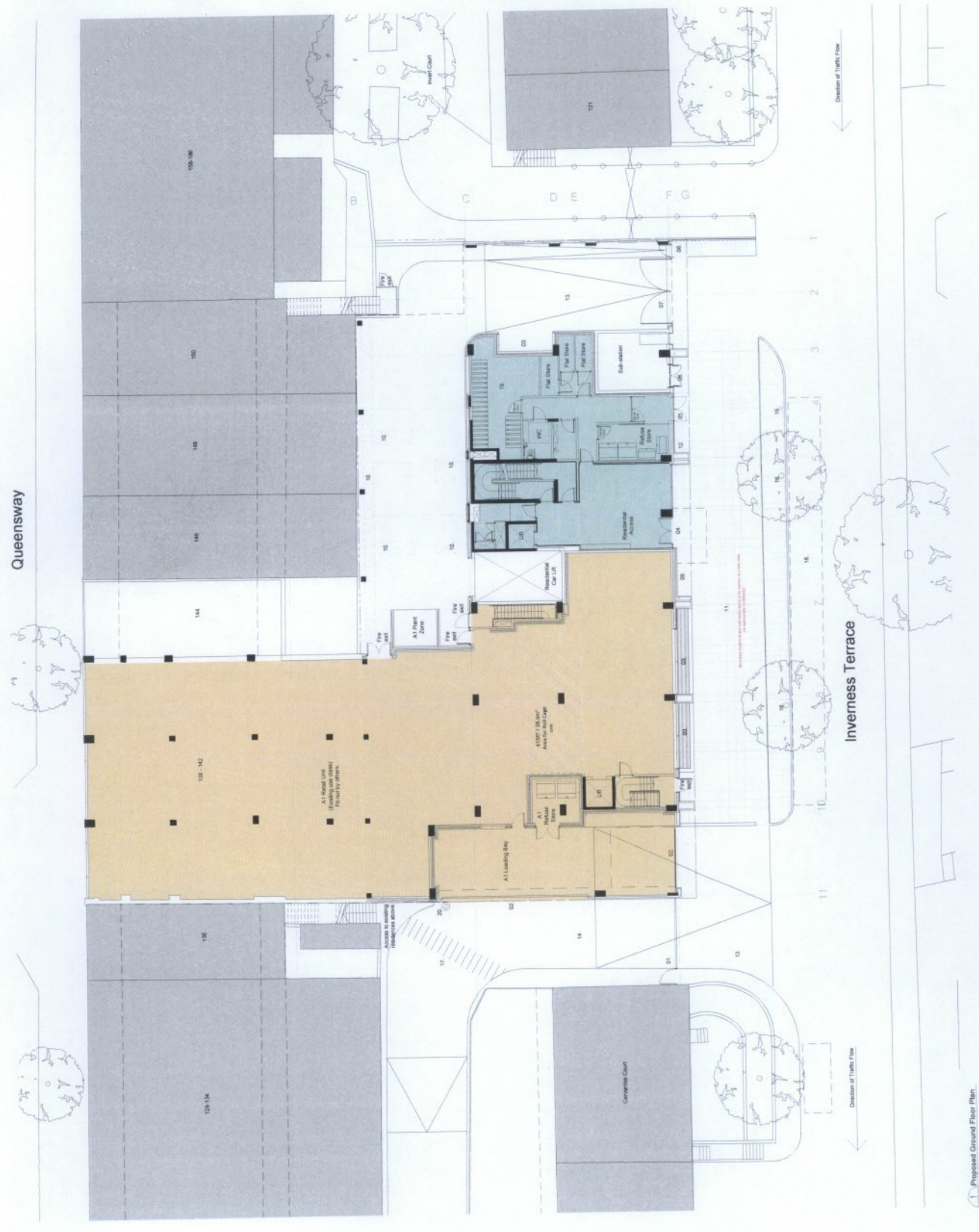
GENERAL NOTES:
1. This drawing is a proposed floor plan for the proposed ground floor of the building.
2. The building is proposed to be constructed in accordance with the Building Regulations 2010.
3. The building is proposed to be constructed in accordance with the Planning Regulations 2004.
4. The building is proposed to be constructed in accordance with the Environmental Regulations 2002.
5. The building is proposed to be constructed in accordance with the Health and Safety Regulations 2005.
6. The building is proposed to be constructed in accordance with the Fire Regulations 2006.
7. The building is proposed to be constructed in accordance with the Access to Work Regulations 2009.
8. The building is proposed to be constructed in accordance with the Equality Act 2010.
9. The building is proposed to be constructed in accordance with the Energy Act 2011.
10. The building is proposed to be constructed in accordance with the Water Act 2012.
11. The building is proposed to be constructed in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.
12. The building is proposed to be constructed in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.
13. The building is proposed to be constructed in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.
14. The building is proposed to be constructed in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.
15. The building is proposed to be constructed in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.
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18. The building is proposed to be constructed in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.
19. The building is proposed to be constructed in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.
20. The building is proposed to be constructed in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.

- Legend:**
- 1. Proposed Floor Plan
 - 2. Existing Floor Plan
 - 3. Proposed External Works
 - 4. Proposed Internal Works
 - 5. Proposed Structural Works
 - 6. Proposed Services
 - 7. Proposed Landscaping
 - 8. Proposed Fencing
 - 9. Proposed Driveway
 - 10. Proposed Parking
 - 11. Proposed Access
 - 12. Proposed Stairs
 - 13. Proposed Lift
 - 14. Proposed Ramps
 - 15. Proposed Windows
 - 16. Proposed Doors
 - 17. Proposed Roofs
 - 18. Proposed Foundations
 - 19. Proposed Foundations
 - 20. Proposed Foundations

damingtons
ARCHITECTURE
LONDON LONDON BRISTOL MANCHESTER

100 Victoria Road
London SW18 7JG
Tel: 020 8748 2400
Email: info@damingtons.com

Project: Proposed Ground Floor Plan
Client: [Redacted]
Date: January 2015
Scale: 1:50



Proposed Ground Floor Plan
1/10/15

GENERAL NOTES

All work shall be in accordance with the current Building Regulations and all other applicable laws and the Building Control. Contractors are responsible for complying with all relevant health and safety legislation and all other relevant legislation. All work shall be completed and all materials to be checked prior to construction. All materials to be checked prior to construction. All materials to be checked prior to construction. All materials to be checked prior to construction.

Flat Type Key

- 1 Bed 2 Persons
- 2 Bed 4 Persons
- 3 Bed 6 Persons

Notes and Materials

1. Ventilation and light wells through slab to vehicle service zone below
2. New ground floor amenity for Queensway residents
3. Common seating area
4. Coped bay for pedestrian
5. Materials to include landscaping to existing
6. New landscaping to flat roof garden to landscape
7. Existing amenity area to be retained for existing
8. New amenity area to be created for existing
9. New amenity area to be created for existing
10. New amenity area to be created for existing



DATE	DESCRIPTION
15/01/2015	ISSUE FOR PERMITTING
15/01/2015	ISSUE FOR CONSTRUCTION
15/01/2015	ISSUE FOR OCCUPANCY

darntonegs
ARCHITECTURE
LEEDS LONDON BRISTOL WARRICK

CLIENT	DCD Properties Ltd
PROJECT	Queensway
DATE	January 2015
SCALE	1:100 @ A1
DATE	January 2015
BY	MD
CHECKED	FE
DATE	15/01/2015
SCALE	1:100 @ A1



1 Proposed First Floor Plan
1:100 @ A1

GENERAL NOTES

All work to be carried out in strict accordance with the current Building Regulations and all applicable codes of practice for the complete replacement of the Listed Building. The proposed works shall be carried out in strict accordance with the Building Regulations and all applicable codes of practice for the complete replacement of the Listed Building. The proposed works shall be carried out in strict accordance with the Building Regulations and all applicable codes of practice for the complete replacement of the Listed Building.

All existing construction levels and dimensions to be checked and all dimensions are to be made visible.

All site dimensions and site levels must be checked on site. This drawing is not to be used for construction unless issued in accordance with the relevant Building Regulations and all applicable codes of practice for the complete replacement of the Listed Building.

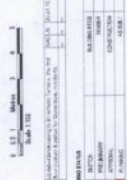
Engineering works shall be carried out in accordance with all relevant Engineering and Construction standards.

Accommodation Schedule

- Flat Type Key**
- 1 Bed 2 Persons
 - 2 Bed 4 Persons
 - 3 Bed 6 Persons

Notes and Materials

1. All new work to be carried out in strict accordance with the current Building Regulations and all applicable codes of practice for the complete replacement of the Listed Building.
2. All new work to be carried out in strict accordance with the current Building Regulations and all applicable codes of practice for the complete replacement of the Listed Building.



darntonegs
ARCHITECTURE
LONDON METRO MANCHESTER

CLIENT	DCD Properties Ltd
PROJECT	Business Terrace
LOCATION	100 Queen Victoria Road, London, E1 2JF
PROPOSED SECOND FLOOR PLAN	
SCALE	1:100@A1
DATE	January 2015
DESIGNER	JMD
REVISION	PE
ISSUE	A



1 Proposed Second Floor Plan
Scale 1:100@A1

GENERAL NOTES

Always to be given and in most circumstances will be subject to the complete satisfaction of the Local Authority Building Control. The Contractor is responsible for complying with all relevant BS, etc. and for the Building Control and Environmental Health Officer's approval of the work. It is the responsibility of the Contractor to ensure that the work is carried out in accordance with the relevant Building Regulations and to ensure that the work is carried out in accordance with the relevant Building Regulations and to ensure that the work is carried out in accordance with the relevant Building Regulations.

All size dimensions and site levels must be checked on site. The drawings must be read in conjunction with all relevant Engineers and specialist drawings.

Accommodation Schedule

- Flat Type Key**
- 1 Bed 1 Person
 - 2 Bed 2 Persons
 - 3 Bed 3 Persons

Notes and Materials

1. Provide roof terrace
2. Some sections showing to roof as per landscape only
3. Planning drawn to Landscape Architect's specification



NO.	REVISION	DATE	BY	CHKD
1	ISSUED FOR PERMIT	15/01/2015	DA	DA
2	REVISED FOR PERMIT	15/01/2015	DA	DA
3	REVISED FOR PERMIT	15/01/2015	DA	DA

damton
eggs
ARCHITECTURE
1225 LONDON BRISTOL WARRICK

Client	DCO Properties Ltd
Project	Overseas Terrace
Location	Overseas Terrace
Drawings	Proposed Third Floor Plan
Scale	1:100@A1
Date	January 2015
Drawn	DA
Checked	DA
Approved	DA



GENERAL NOTES

All work to be carried out in strict accordance with the current Building Regulations and the current Building Control Authority's requirements of the Local Authority Building Control.

The contractor shall be responsible for obtaining all relevant Building Regulations and Environmental Health Department approval for all work to be carried out and for any necessary consents.

The contractor shall be responsible for the selection and specification of all materials to be used in construction and for ensuring that all materials are of the correct grade and dimensions and to match existing.

The drawings should be used for construction unless stated otherwise.

This drawing should be read in conjunction with all other drawings and specifications.

Notes and Materials

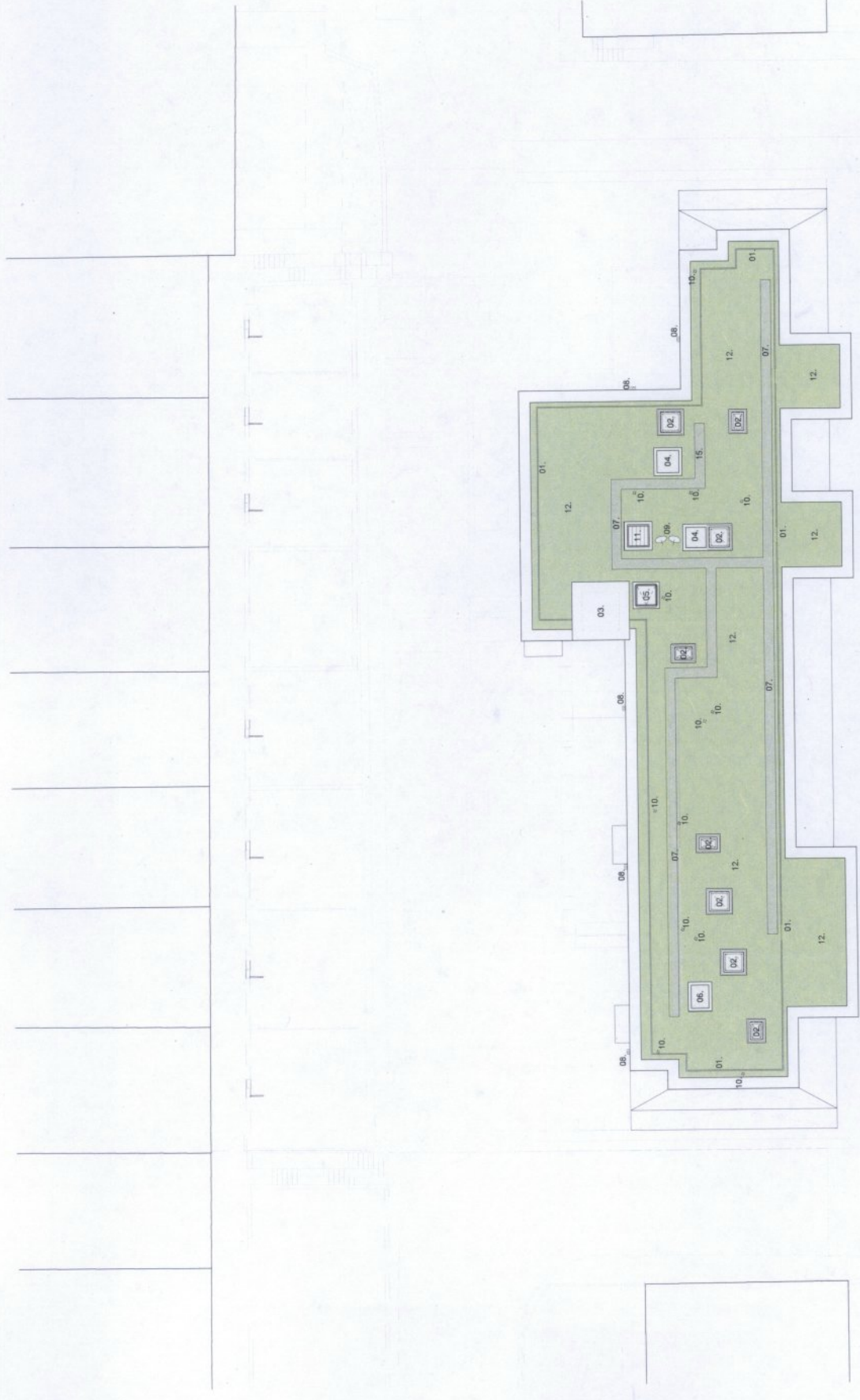
1. Single representative generated for health and safety purposes
2. Roof lights
3. Lift consent
4. Roof lights have Code to be fixed in
5. Access ramps
6. Draining roof opening to be verified
7. Data required for access and maintenance
8. Repetitive details to be submitted to Building Control for approval
9. Construction details to be submitted to Building Control for approval
10. DWP Form 10
11. Automatic opening used
12. Repetitive 10.00m external roof



NO.	DATE	DESCRIPTION
01	11/01/2015	Issue for RIBA
02	11/01/2015	Issue for RIBA
03	11/01/2015	Issue for RIBA
04	11/01/2015	Issue for RIBA
05	11/01/2015	Issue for RIBA
06	11/01/2015	Issue for RIBA
07	11/01/2015	Issue for RIBA
08	11/01/2015	Issue for RIBA
09	11/01/2015	Issue for RIBA
10	11/01/2015	Issue for RIBA
11	11/01/2015	Issue for RIBA
12	11/01/2015	Issue for RIBA
13	11/01/2015	Issue for RIBA
14	11/01/2015	Issue for RIBA
15	11/01/2015	Issue for RIBA
16	11/01/2015	Issue for RIBA
17	11/01/2015	Issue for RIBA
18	11/01/2015	Issue for RIBA
19	11/01/2015	Issue for RIBA
20	11/01/2015	Issue for RIBA

damton
eggs
ARCHITECTURE
LONDON BRISTOL WARRINGHAM

CLIENT	DCO Properties, Ltd
PROJECT	Overseas Terminal
LOCATION	London
PROPOSED	Proposed Roof Plan
SCALE	1:100 @ A1
DATE	January 2015
DESIGNED BY	MO
CHECKED BY	FE
DATE	11/01/2015



1 Proposed Roof Plan
1:100 @ A1



GENERAL NOTES

All work to be carried out in strict accordance with the current Building Regulations and any other applicable legislation of the Local Authorities Building Control.

Contractors are responsible for complying with all relevant BS etc. and local Building Control and Environmental Health requirements. It is the responsibility of the contractor to ensure that all work is carried out in accordance with the relevant standards.

All work to be carried out in strict accordance with the relevant BS etc. and local Building Control and Environmental Health requirements. It is the responsibility of the contractor to ensure that all work is carried out in accordance with the relevant standards.

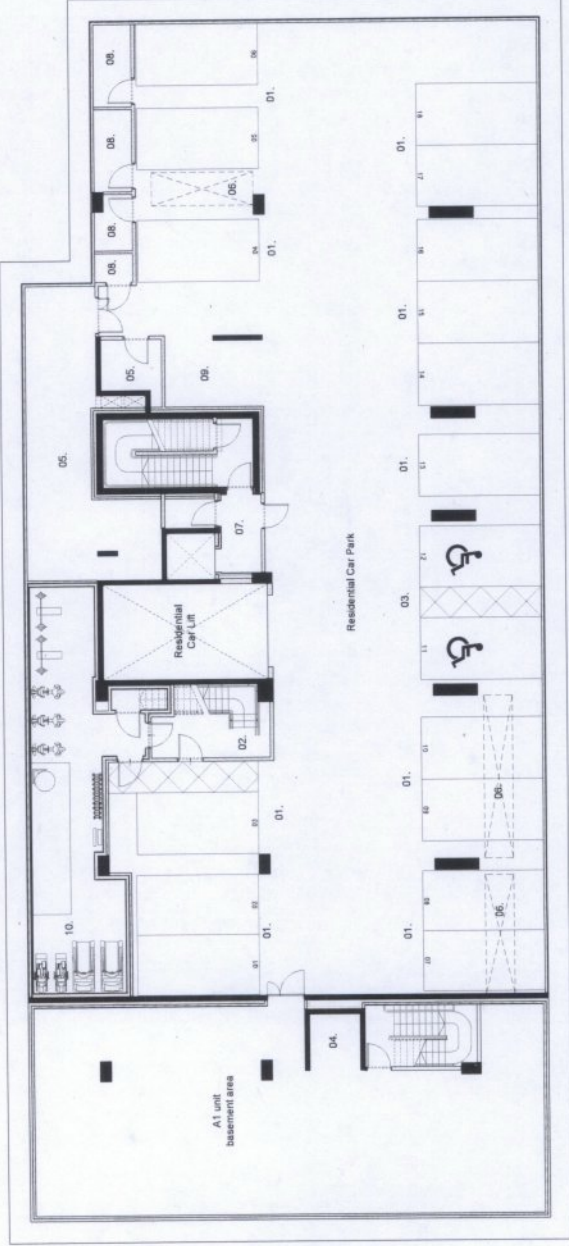
All site dimensions and site levels must be checked on site.

The drawing must not be used for construction unless stated otherwise.

This drawing should be read in conjunction with all relevant documents and specifications.

Accommodation Schedule

1. MNC. Car parking spaces
2. 2nd. Disabled parking spaces
3. 2nd. Disabled parking spaces
4. National MNC
5. Plant rooms
6. Offices to serve above parking lift & ventilation
7. Residential cars
8. Private lift shafts
9. 2nd. Designated motorcycle parking spaces
10. New gas



Scale: 1:500
 0 1 2 Meters
 0 1 2 Feet

DATE	DESCRIPTION
11/08/11	ISSUED FOR PERMIT
11/08/11	ISSUED FOR PERMIT
11/08/11	ISSUED FOR PERMIT
11/08/11	ISSUED FOR PERMIT
11/08/11	ISSUED FOR PERMIT

darnton
 ARCHITECTURE
 LEEDS LONDON BRISTOL WARRICK

CLIENT	DCD Properties Ltd
PROJECT	Progress 1 Project
DESIGNER	Darnton Architecture
PROPOSED START/END DATE	11/08/11 - 11/08/11
DATE	January 2015
PROJECT	MO
PERIOD	PE
ISSUED FOR	PERMIT
SCALE	1:500
DATE	11/08/11
PROJECT	MO
PERIOD	PE
ISSUED FOR	PERMIT
SCALE	1:500
DATE	11/08/11

1 Proposed Basement Plan
 11/08/11

GENERAL NOTES

All work to be carried out in accordance with the contract documents and the contract conditions of the Local Authorities Building Regulations. The contractor shall be responsible for obtaining all necessary permits and licences for the work to be carried out and shall be responsible for the safety of all workers and the public at all times.

All work to be carried out in accordance with the contract documents and the contract conditions of the Local Authorities Building Regulations. The contractor shall be responsible for obtaining all necessary permits and licences for the work to be carried out and shall be responsible for the safety of all workers and the public at all times.

Notes and Materials

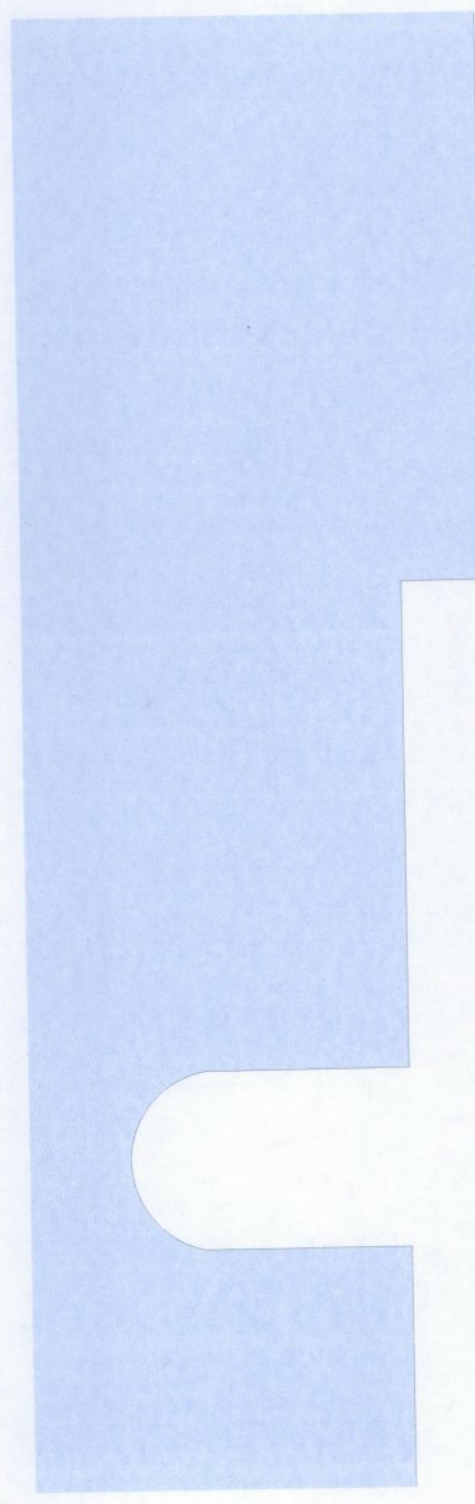
1. All work to be carried out in accordance with the contract documents and the contract conditions of the Local Authorities Building Regulations.
2. The contractor shall be responsible for obtaining all necessary permits and licences for the work to be carried out and shall be responsible for the safety of all workers and the public at all times.
3. All work to be carried out in accordance with the contract documents and the contract conditions of the Local Authorities Building Regulations.
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19. All work to be carried out in accordance with the contract documents and the contract conditions of the Local Authorities Building Regulations.
20. The contractor shall be responsible for obtaining all necessary permits and licences for the work to be carried out and shall be responsible for the safety of all workers and the public at all times.
21. All work to be carried out in accordance with the contract documents and the contract conditions of the Local Authorities Building Regulations.



PROJECT NO.	DATE
PROJECT NAME	DATE
PROJECT ADDRESS	DATE
PROJECT CONTACT	DATE
PROJECT STATUS	DATE
PROJECT TYPE	DATE
PROJECT VALUE	DATE
PROJECT RISK	DATE
PROJECT COMPLEXITY	DATE
PROJECT UNUSUAL	DATE
PROJECT CHALLENGING	DATE
PROJECT RISKY	DATE
PROJECT UNUSUAL	DATE
PROJECT CHALLENGING	DATE
PROJECT RISKY	DATE

darnton
eggs
ARCHITECTURE
LIMITED LONDON BRISTOL MANCHESTER

PROJECT NO.	DATE
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PROJECT UNUSUAL	DATE
PROJECT CHALLENGING	DATE
PROJECT RISKY	DATE
PROJECT UNUSUAL	DATE
PROJECT CHALLENGING	DATE
PROJECT RISKY	DATE



1 Proposed East Elevation (Inverness Terrace)
1:100@A1

GENERAL NOTES

All works to be carried out in strict accordance with the current Building Regulations and the Building Control Authority's Local Amending Building Code.

Services to be installed in accordance with the current Building Regulations and the Building Control Authority's Local Amending Building Code. All services to be installed in accordance with the current Building Regulations and the Building Control Authority's Local Amending Building Code.

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Notes and Materials

1. Full brick elevation with red brick course
2. Bay windows with aluminium glazing to first floor
3. Bay windows with aluminium glazing to first floor
4. Bay windows with aluminium glazing to first floor
5. Bay windows with aluminium glazing to first floor
6. Bay windows with aluminium glazing to first floor
7. Bay windows with aluminium glazing to first floor
8. Bay windows with aluminium glazing to first floor
9. Bay windows with aluminium glazing to first floor
10. Bay windows with aluminium glazing to first floor
11. Bay windows with aluminium glazing to first floor
12. Bay windows with aluminium glazing to first floor
13. Bay windows with aluminium glazing to first floor
14. Bay windows with aluminium glazing to first floor
15. Bay windows with aluminium glazing to first floor
16. Bay windows with aluminium glazing to first floor
17. Bay windows with aluminium glazing to first floor
18. Bay windows with aluminium glazing to first floor
19. Bay windows with aluminium glazing to first floor
20. Bay windows with aluminium glazing to first floor
21. Bay windows with aluminium glazing to first floor
22. Bay windows with aluminium glazing to first floor

NO.	DESCRIPTION	DATE	BY	CHECKED
1	Issue for tender	11/08/15	JD	JD
2	Issue for tender	11/08/15	JD	JD
3	Issue for tender	11/08/15	JD	JD
4	Issue for tender	11/08/15	JD	JD
5	Issue for tender	11/08/15	JD	JD
6	Issue for tender	11/08/15	JD	JD
7	Issue for tender	11/08/15	JD	JD
8	Issue for tender	11/08/15	JD	JD
9	Issue for tender	11/08/15	JD	JD
10	Issue for tender	11/08/15	JD	JD
11	Issue for tender	11/08/15	JD	JD
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13	Issue for tender	11/08/15	JD	JD
14	Issue for tender	11/08/15	JD	JD
15	Issue for tender	11/08/15	JD	JD
16	Issue for tender	11/08/15	JD	JD
17	Issue for tender	11/08/15	JD	JD
18	Issue for tender	11/08/15	JD	JD
19	Issue for tender	11/08/15	JD	JD
20	Issue for tender	11/08/15	JD	JD
21	Issue for tender	11/08/15	JD	JD
22	Issue for tender	11/08/15	JD	JD

darntonegs
ARCHITECTURE
LEBS LONDON HEBEL WARRICK

PROJECT		Client: [Name]	
LOCATION		[Address]	
DATE		[Date]	
DRAWN BY		[Name]	
CHECKED BY		[Name]	
SCALE		1:100@A1	
PROJECT NO.		[Number]	
DATE		[Date]	
BY		[Name]	
CHECKED		[Name]	
DATE		[Date]	
PROJECT NO.		[Number]	
DATE		[Date]	
BY		[Name]	
CHECKED		[Name]	
DATE		[Date]	



1 Proposed West Elevation
Scale: 1:100@A1

GENERAL NOTES

1. All work shall conform to the requirements of the Building Regulations and the Building Act 2003.

2. The Client is responsible for obtaining all necessary consents and approvals from the Local Authority Building Control.

3. The Contractor is responsible for complying with all relevant BS, BS EN, and other standards and specifications.

4. The Contractor shall ensure that all materials and components used are of the highest quality and are suitable for the intended use.

5. The Contractor shall ensure that all work is completed in accordance with the approved drawings and specifications.

6. The Contractor shall ensure that all work is completed in a timely and efficient manner.

7. The Contractor shall ensure that all work is completed in a safe and secure manner.

8. The Contractor shall ensure that all work is completed in a professional and courteous manner.

9. The Contractor shall ensure that all work is completed in a clean and tidy manner.

10. The Contractor shall ensure that all work is completed in a cost-effective manner.

11. The Contractor shall ensure that all work is completed in a sustainable manner.

12. The Contractor shall ensure that all work is completed in a resilient manner.

13. The Contractor shall ensure that all work is completed in a secure manner.

14. The Contractor shall ensure that all work is completed in a reliable manner.

15. The Contractor shall ensure that all work is completed in a robust manner.

16. The Contractor shall ensure that all work is completed in a durable manner.

17. The Contractor shall ensure that all work is completed in a long-lasting manner.

18. The Contractor shall ensure that all work is completed in a high-quality manner.

19. The Contractor shall ensure that all work is completed in a professional manner.

20. The Contractor shall ensure that all work is completed in a timely manner.

Notes and Details:

1. Self-finish elevation with saddle course
2. Reclaimed stone of brick wall
3. Cladding: vertical and horizontal joints
4. Cladding: vertical joints
5. Cladding: horizontal joints
6. Cladding: horizontal joints
7. Reclaimed and recycled materials: use of local stone and brick
8. Single-pane windows: parallel to roof for health and safety purposes
9. Applied signs to west elevation with address and contact details
10. Projecting balconies to west elevation with enclosed glass railings
11. Semi-enclosed planting to lower roof to facilitate outdoor seating
12. Metal fin to house to retain double glazing
13. Metal fin to house: Copper - refer to sample for finish
14. Private public gardens
15. Location of steel railings
16. Non-slip concrete paved (inclined at 1:10) and other associated drainage system
17. 1/8" screen layout
18. Site access / Green infrastructure
19. Location of accessible stairs
20. Residential entrance canopy

DATE	BY	DESCRIPTION
15/03/23	LD	ISSUED FOR PERMIT
15/03/23	LD	ISSUED FOR PERMIT
15/03/23	LD	ISSUED FOR PERMIT

Scale: 1:100 @ A1
 Date: 15/03/23
 Drawn by: LD

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 LEES LONDON BRISTOL MANCHESTER

PROJECT	CLIENT	DATE	SCALE	STATUS
Queensway	CCD Properties Ltd	January 2015	1:100 @ A1	Final
Project: North Elevation				
Drawn by: LD				
Checked by: LD				
Approved by: LD				



1 Proposed North Elevation
 1:100 @ A1

Accommodation Schedule

A1 Unit (Ground Floor Level)
Use Class as Existing

Residential Access to Private Dwellings Above

Residential Access to Affordable Dwellings Above

Notes and Materials

1. New Secure Vehicular and Pedestrian Access Gates
2. Secure Vehicular Access to A1 Loading Bay
3. Basement Vents
4. Private Residential Access
5. Refuse Store
6. Affordable Residential Access
7. Secure Residential & A1 Vehicular Access Gates
8. Secure Access to Dwellings Over Queensway
9. Location for Public A1 Installation
10. Ventilation and Light Voids Through Slab Above
11. Planters with Native Low Growing Species
12. Dry Riser Location
13. New Ramp to Private Road and Dropped Curbs
14. Street Lamp Relained
15. Street Lamp Relained
16. Street Trees to be Protected During Construction
17. Zebra Crossing between Pedestrian Pavements
18. Number of Existing Street Parking Bays Retained

Revisions:

Date:	Rev:	Note:	Checked:
31/10/08	A	General Updates	
01/04/09	B	Zebra Crossing & A1 Release Blins Added	
18/05/09	C	Street Lamp & Parking Bays Retained. Pavement to A1 unit extended.	

APPROVED

Notes:

Unless indicated, this drawing is for information only. Do not scale, use figured dimensions only. All dimensions to be checked on site.



PLANNING APPLICATION ISSUE

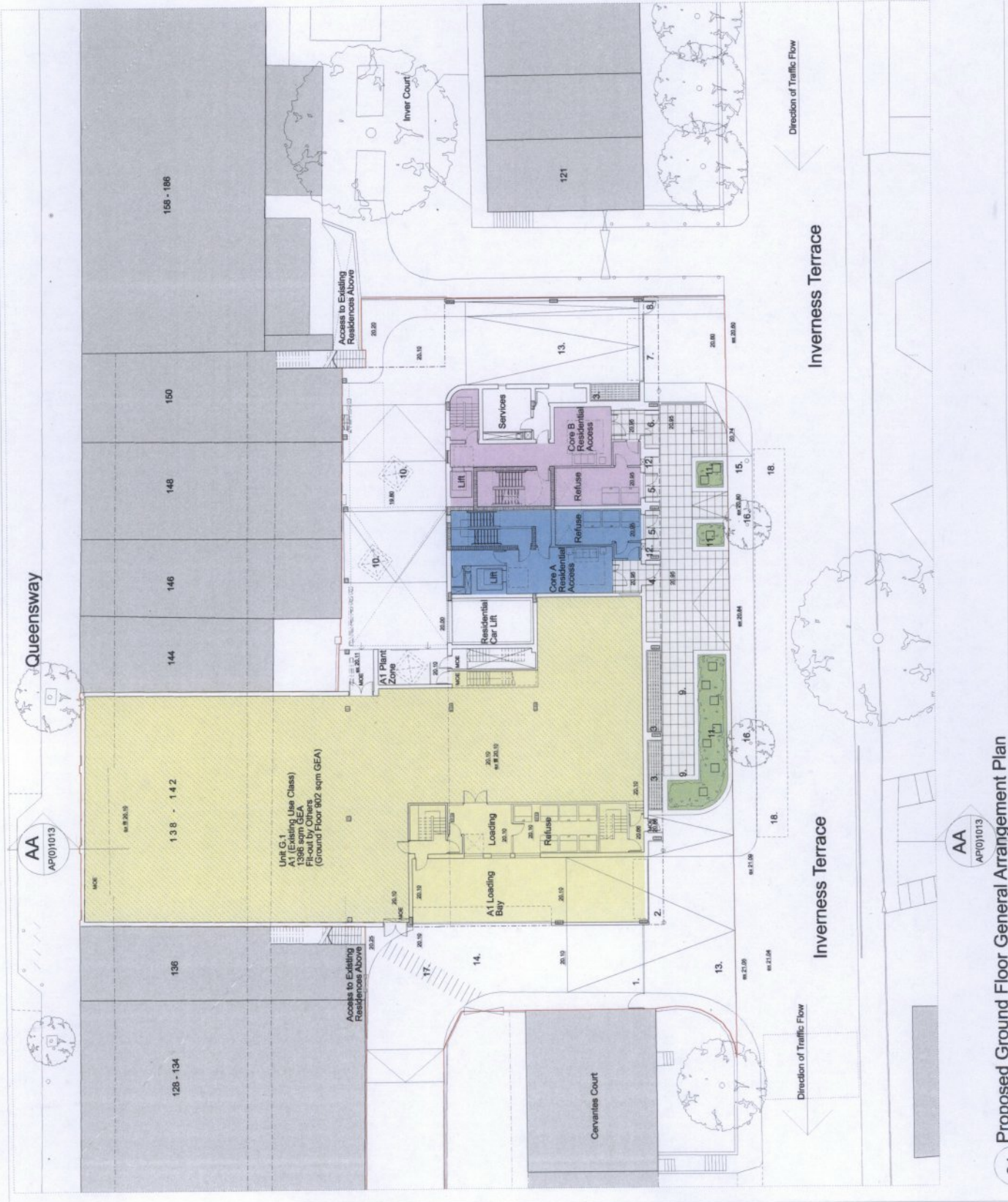
Dwg original size: A2

Cartwright Pickard Architects Ltd.
1 Canal Side Studios
8-14 St. Pancras Way
London WC2A 0LF
Tel: 020 7554 3630
Fax: 020 7388 9312
Email: mail@cartwrightpickard.com

Project: Queensway / Inverness Terrace
Location: W2
Client: DCD Properties
Dwg Title: Proposed Ground Floor
General Arrangement Plan

Scale: 1:200 @ A2 Date: February 2009

Dwg. No: 472_AP_(01)001 Rev: C



Accommodation Schedule

- Private 1 Bedroom 2 Person Dwelling
- Private 2 Bedroom 4 Person Dwelling
- Affordable 2 Bedroom 4 Person Dwelling
- Affordable 3 Bedroom 5 Person Wheelchair Family Dwelling

Notes and Materials

1. Ventilation and Light Voids Through Slab to Vehicular Service Zone Below
2. Soft Landscaping Planted with Majority of UK Native Species
3. Common Seating Areas
4. Composite Bins for Garden Waste
5. Angled Bays to Mitigate Overlooking To Existing Residents Over Queensway
6. Rainwater Outlets to Hard & Soft Landscaping Fed to Basement Collection Tanks For Landscaping Irrigation With Mains Water Backup
7. Stainless Steel Tensile Wire for Creation of Living Wall
8. New Gated Access Points Through Parapet Walls
9. New Security Gate and Fencing
10. Non Habitable Obscured Window to Gable Wall

Date:	Rev:	Note:	Checked:
22/08/08	A	Units 106 & 107 Revised	SC
31/10/08	B	General Updates, 5th Storey Omitted	SC
13/01/09	C	Landscaping & Unit 106 Revised	SC
03/04/09	D	Balcony Omitted North West Elevation	SC

APPROVED

Notes:
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Dwg original size: A2

Cartwright Pickard Architects Ltd.
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 Email: mail@cartwrightpickard.com

Project: Queensway / Inverness Terrace
Client: LCC/WW/DCD Properties
Dwg Title: Proposed First Floor General Arrangement Plan

Scale: 1:200 @ A2 **Date:** February 2009

Dwg. No: 472_AP_(0)1002 **Rev:** D



Accommodation Schedule

- Private 1 Bedroom 2 Person Dwelling
- Private 2 Bedroom 4 Person Dwelling
- Affordable 2 Bedroom 4 Person Dwelling
- Affordable 3 Bedroom 5 Person Wheelchair Family Dwelling

Notes and Materials

1. Non Habitable Obscured Window to Gable Wall

Date:	Rev:	Note:	Checked:
22/03/08	A	Units 205 & 207 revised	SC
31/10/08	B	General Updates, 5th Storey Omitted	SC
16/01/09	C	Landscaping & Unit 108 Revised	SC
03/04/09	D	Balcony Omitted North West Elevation	SC

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PLANNING APPLICATION ISSUE

Dwg original size: A2

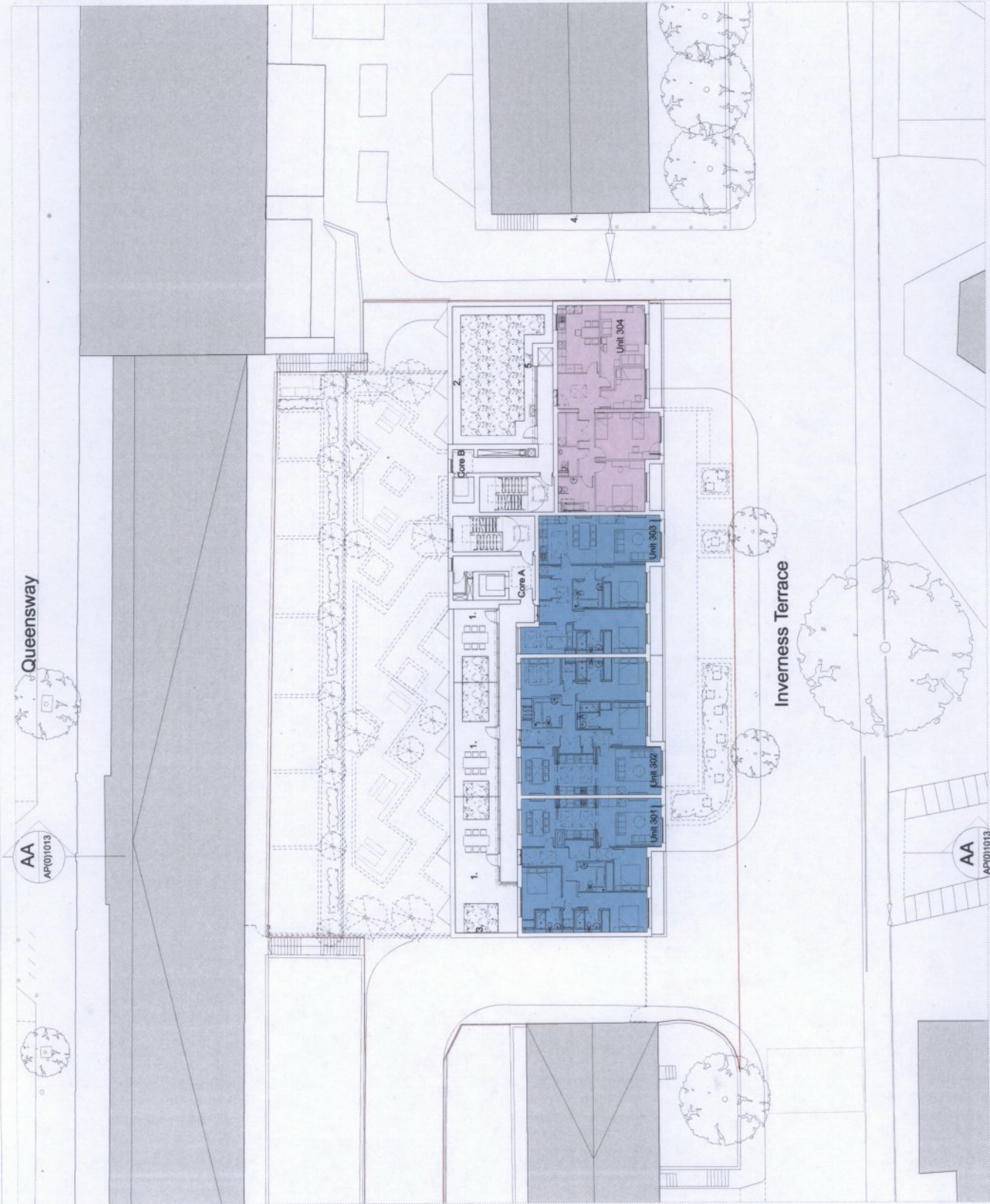
Cartwright Pickard Architects Ltd.
 1 Canal Side Studios
 8-14 St. Pancras Way
 London, NW1 0QG
 Tel: 020 7554 3630
 Fax: 020 7386 9512
 Email: mail@cartwrightpickard.com

Project: Queensway / Inverness Terrace
Client: DCD Properties
Dwg Title: Proposed Second Floor General Arrangement Plan

Scale: 1:200 @ A2 **Date:** February 2009

Dwg. No: 472_AP_(0)1003 **Rev:** D





Accommodation Schedule

- Private 3 Bedroom 6 Person Family Dwelling
- Affordable 3 Bedroom 5 Person Wheelchair Family Dwelling

Notes and Materials

1. Private Roof Terrace with Area of Semi Intensive Planting
2. Semi Intensive Planting to Roof. Access for Maintenance Only
3. Planting Screen
4. Non Habitable Obscured Window to Gable Wall (Floor Below)
5. Position of Communal Satellite Dish

Date:	Rev:	Note:	Checked:
3/11/08	A	General Updates. 5th Storey Omitted	SC
08/12/08	B	North East Corner revised	SC
16/01/09	C	Landscaping & Unit 108 Revised	SC
03/04/09	D	Position of Satellite Dish Shown	SC

APPROVED

Notes:
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Email: mail@cartwrightpickard.com

Project: Queensway / Inverness Terrace
London W2
Client: DCD Properties
Dwg Title: Proposed Third Floor
General Arrangement Plan

Scale: 1:200 @ A2 Date: February 2009

Dwg. No: 472_AP_(0)1004 Rev: D

Notes and Materials

1. Bio Diverse / Green Extensive Roof
2. Simple Maintenance Guardrail for Health and Safety Purposes
3. Roof Lights
4. Lift Overrun
5. Fan System for Fan Assisted Smoke Ventilation
6. Access Hatches
7. Central Boiler Flue
8. SVP's not Indicated
9. Rainwater Outlets led to Basement Holding Tanks for Rainwater Irrigation System to Landscaped Areas
10. Solar Hot Water Panels

Revisions:	Date:	Rev:	Note:	Checked
	31/10/08	A	5th Storey Omitted	SC
	16/10/08	B	Solar Hot Water Panels Shown	SC
	03/04/09	C	Shallow Roof Pitch Shown	SC

APPROVED

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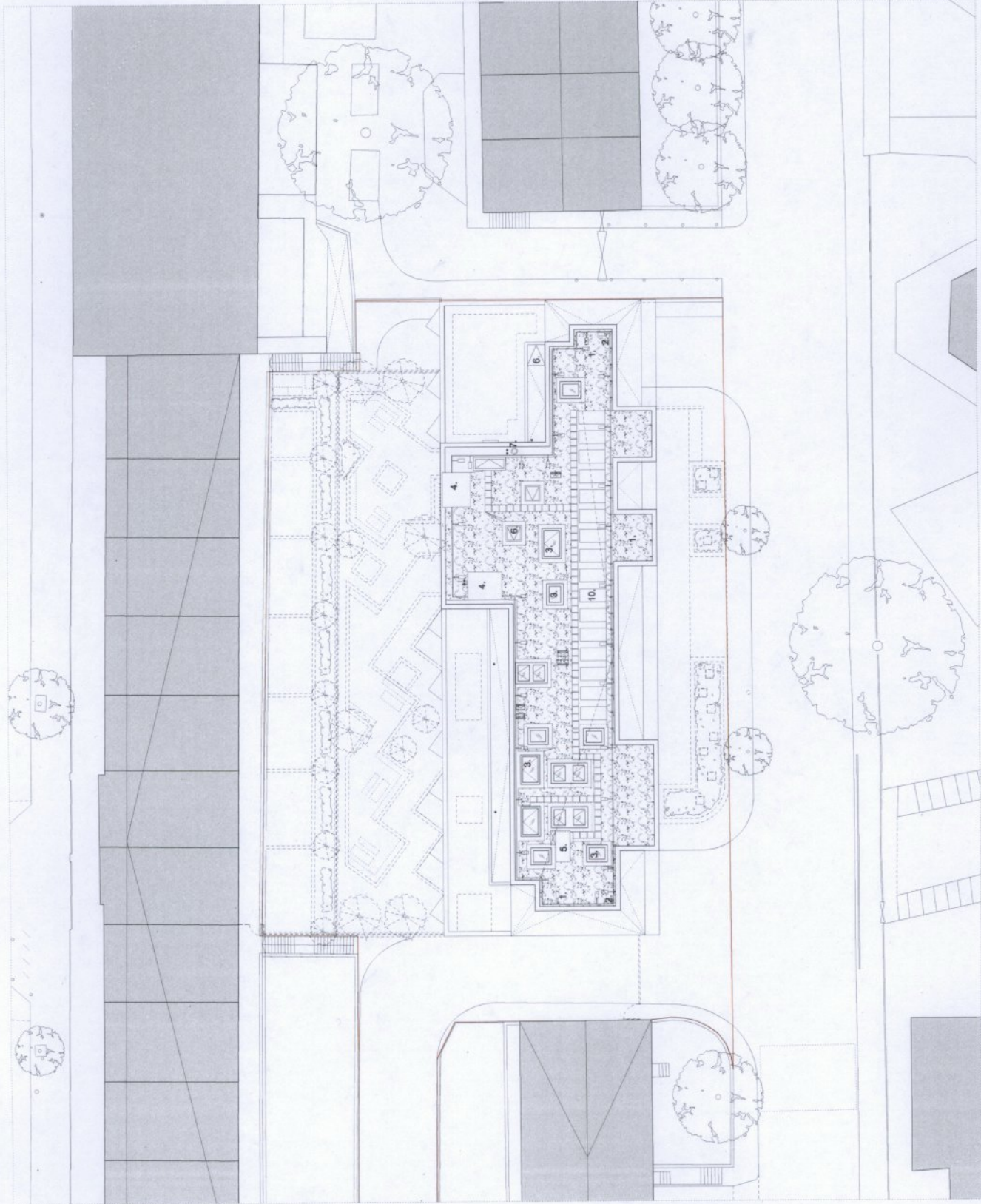
Dwg original size: A2

Cartwright Pickard Architects Ltd.
1 Canal Side Studios
8-14 St. Pancras Way
London, NW1 0QG
Tel: 020 7568 3630
Fax: 020 7568 9512
Email: mail@cartwrightpickard.com

Project: Queensway / Inverness Terrace
London W2
Client: DCD Properties
Dwg Title: Proposed Roof Plan

Scale: 1:200 @ A2 Date: February 2009

Dwg. No: 472_AL_(0)1006 Rev: C




Accommodation Schedule

1. 18No. Carparking Spaces Including 2No. Disable Spaces
2. 5No. designated Motorcycle Parking Spaces
3. 27No. Bicycle Storage Spaces
4. Grilles to Street Above Providing Light & Ventilation
5. Stair to Ground Floor Service Undercroft
6. Car Lift Machine Room
7. Rainwater Collection Tank & Motor Room
8. Notional Lift Zone
9. Existing Tree Above

Revisions:	Date:	Rev:	Note:	Checked
	31/10/08	A	General Updates	SC

APPROVED

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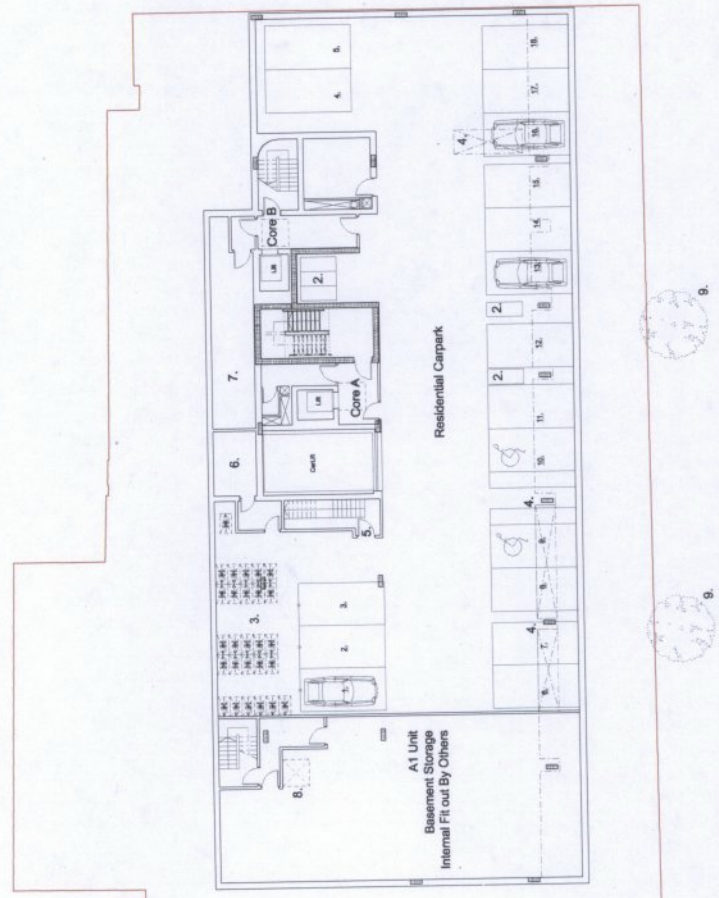
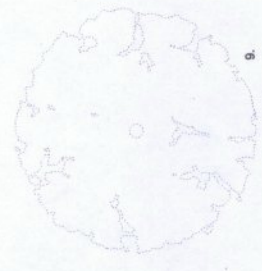


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Dwg original size: A2
 Cartwright Pickard Architects Ltd.
 1 Canal Side Studios
 8-14 St. Pancras Way
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Project: Queensway / Inverness Terrace
 London W2
Client: DCD Properties
Dwg Title: Proposed General Arrangement Basement Plan

Scale: 1:200 @ A2
Date: February 2009
Dwg. No: 472_AP_(0)1007
Rev: A



Notes and Materials

1. Secure Vehicular and Pedestrian Access Gates to Private Road
2. Secure Vehicular Metal Mesh Access Gates to A1 Loading Bay to Match Metal Cladding
3. Recessed Balconies
4. Buff Brick Elevation with Running Soldier Course
5. Metal Cladding Panels
6. Residential Entrance Portico's with Timber Entrance Doors and Portland Stone
7. Metal Mesh Doors to Refuse Store to Match Cladding
8. Up and Over Secure Residential Vehicular Metal Mesh Access Gates to Match Metal Cladding
9. Secure Metal Mesh Pedestrian Access to Existing Dwellings Over Queensway
10. Buff Brick Planters with Low Growing Native UK Species
11. Single Maintenance Guardrail To Roof For Health & Safety Purposes
12. Composite Metal and Timber Window System
13. Bollard Protection to Building
14. Public Art Installation.
Eg Sculptural Illuminated Totem Poles
15. Bio Diverse / Green Roof
16. Solar Hot Water Panels Beyond



Revisions:		Checked
Date:	Rev.:	Note:
31/10/08	A	General Updates. 5th Storey Omitted
03/12/08	B	General Updates. Material Alternations.
01/04/09	C	Roofline, Public Artwork, Residential Entrance Alternations

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Notes:
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Dwg original size: A2

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Email: mail@cartwrightpickard.com

Project: Queensway / Inverness Terrace
London W2
Client: DCD Properties
Dwg Title: Proposed East Elevation
(Inverness Terrace)

Scale: 1:200 @A2 Date: February 2009

Dwg. No: 472_AP_(0)1009 Rev: C

Proposed East Elevation (Inverness Terrace)

Notes and Materials

1. Buff Brick Elevation
2. Bay Windows with Obscured Glazing to any window orientated Window Panels to Mitigate Overlooking
3. Projecting Balconies with Obscured Glazing to any North East Orientated Glazed Panels to Mitigate Overlooking
4. Access to Top Floor Dwellings
5. Private Roof Terraces with Glass Balustrades and Semi Intensive Planting
6. Common Landscaped Amenity Podium, Predominance of UK Native Species, etc.
7. Tree Pits where Trees Indicated to Accommodate Root Ball. Trees to be Fitted with Bird Boxes.
8. Stainless Steel Terraces, Wipes for Creation of Living Wall Through Vine Planting
9. Rainwater Goods to match Metal Cladding fed to Collection For Landscape Irrigation
10. Vehicular Undercroft for Access to Residential Car Lift and Rear of Existing A1 Units
11. Ventilation and Light Voids Through Landscaped Podium Above
12. Secure Vehicular Access Gates, Up and Over Metal Mesh to Match East Elevation Metal Cladding
13. Secure Pedestrian Access Gate to Existing Dwellings over Queensway, Metal Mesh to Match East Elevation Metal Cladding
14. Simple Metal Guardrail for Health and Safety Purposes
15. Secure Vehicular and Pedestrian Access Gates to Private Road
16. Obscured Glazing to Stair and Lift Cores
17. Blk Diverse / Green Extensive Roof
18. Metal Cladding Panels
19. Residential Carlift
20. A1 Unit
21. Broken Line Indicates Existing Road Levels

Date:	Rev:	Note:	Checked
31/10/08	A	General Updates. 5th Storey Omitted	SC
03/12/08	B	General Updates. Material Alteration	SC
01/04/09	C	Window Sizes Increased, Roofline Aligned, SC 2No Balconies Omitted	

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Notes:
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 Do not scale, use figured dimensions only.
 All dimensions to be checked on site.

PLANNING APPLICATION ISSUE
 Dwg original size: A2

Cartwright Pickard Architects Ltd.
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Project: Queensway / Inveness Terrace
Client: DCD Properties
Dwg Title: Proposed West Elevation

Scale: 1:200 @ A2 **Date:** February 2009
Dwg. No: 472_AP_(0)1010 **Rev:** C



Notes and Materials

1. Buff Brick Elevation with Running Soldier Course
2. New Security Gate and Fence to Existing Dwellings over Queensway
3. Secure Vehicular and Pedestrian Gates
4. Recessed Balconies
5. Common Landscaped Amenity Space
6. Existing Access to Dwellings Above Queensway
7. Secure Open Grille Shutter to A1 Loading Bay
8. Existing Dwellings Above Queensway
9. Simple Maintenance Guardrail To Roof For Health & Safety Purposes
10. Bollard Protection to Building
11. New Road and Ramp Works to Form New Levels
12. Private Terraces to Top Floor Dwellings with Semi Intensive Planting
13. Bio Diverse / Green Extensive Roof
14. Angled Bays to West Elevation
15. Projecting Balconies to West Elevation
16. Planting Screen
17. Metal Cladding Panels
18. Private Patio Gardens
19. Public Artwork Installation.
Eg: Illuminated Totem Poles

Revisions:	Date:	Rev:	Note:	Checked
311008	A	General Updates.	5th Storey Omitted	SC
031208	B	General Updates.	Material Alteration	SC
010409	C	Roofscape & Bay Windows Updated	Brick Soldier Course Shown	SC

APPROVED

Notes:
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All dimensions to be checked on site

PLANNING APPLICATION ISSUE

Dwg original size: A2

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Tel: 020 7554 3830
Fax: 020 7388 9312
Email: mail@cartwrightpickard.com

Project: Queensway / Inverness Terrace
Client: DCD Properties
Dwg Title: Proposed South Elevation

Scale: 1:200 @ A2 **Date:** February 2009
Dwg. No.: 472_AP_(0)1011 **Rev:** C



Proposed South Elevation